



Image 1 - Proposed
brickwork



Image 2 - Existing tile
hanging



Image 3 - Existing roof
tiles



Image 4 - Proposed
black painted metal
rainwater goods
(Alumasc or similar)

Roof covering, tile hanging and exposed brickwork on existing house to be inspected, repaired and re-instated as necessary.

All existing UPVC rainwater goods to be replaced with black painted metal

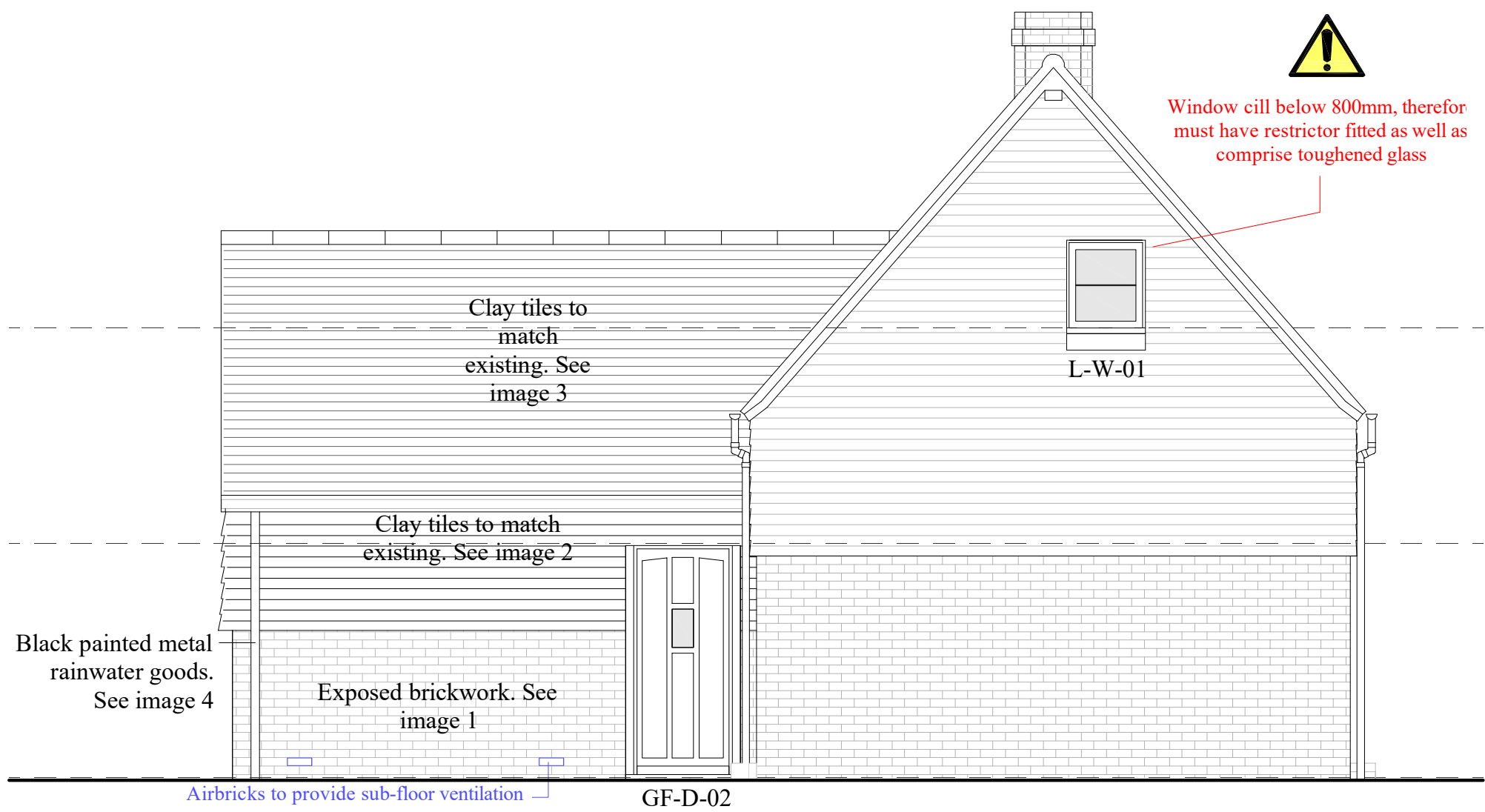
All replacement and new windows to be white painted timber framed. Rooflights to be black metal framed conservation style



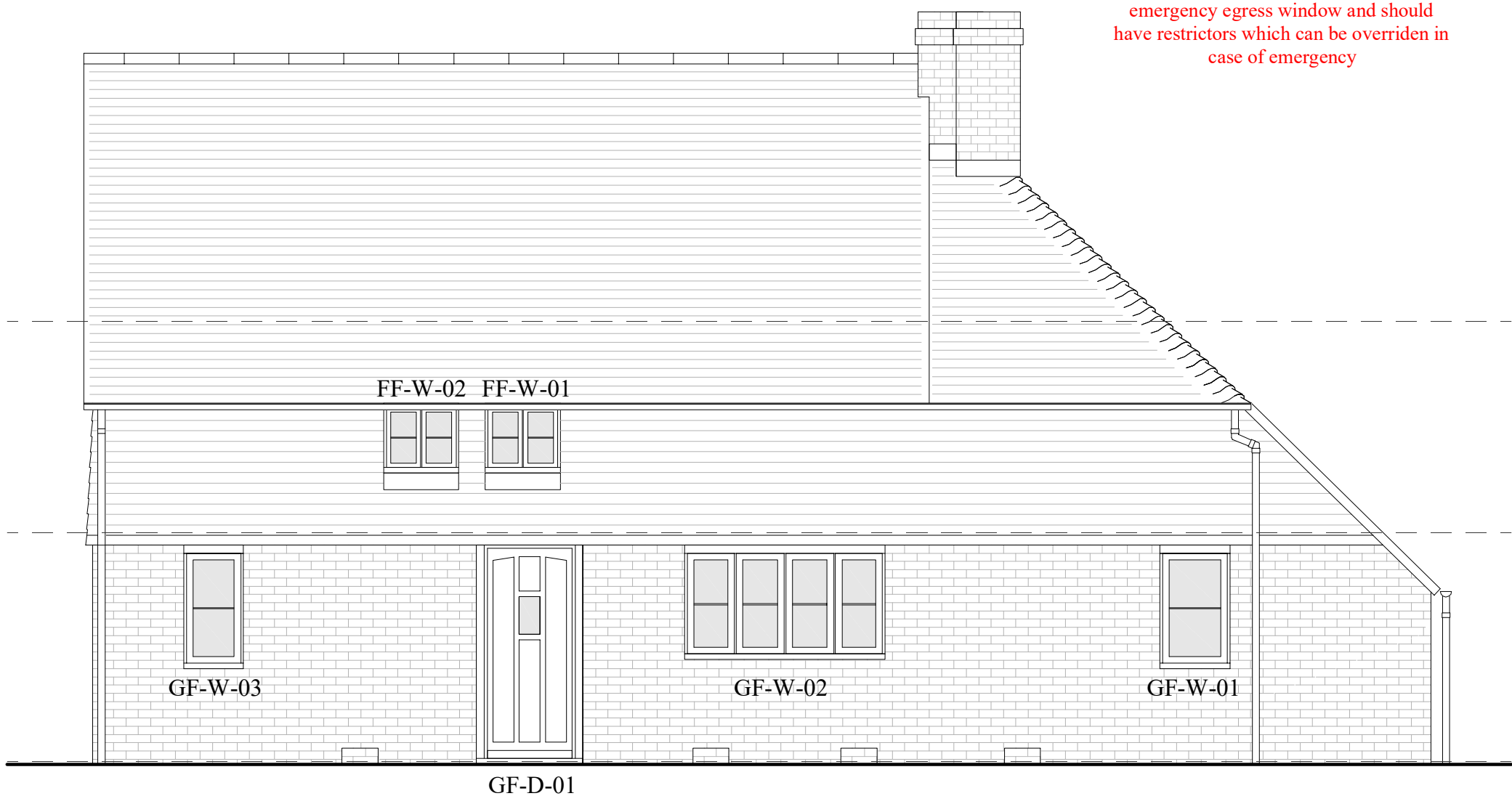
Window cill below 800mm, therefor must have restrictor fitted as well as comprise toughened glass



FIRST FLOOR WINDOWS:
All first floor window cills are below 800mm, therefore they must have restrictors fitted as well as comprise toughened glass. FF-W-01 is an emergency egress window and should have restrictors which can be overridden in case of emergency



PROPOSED SOUTH EAST
ELEVATION

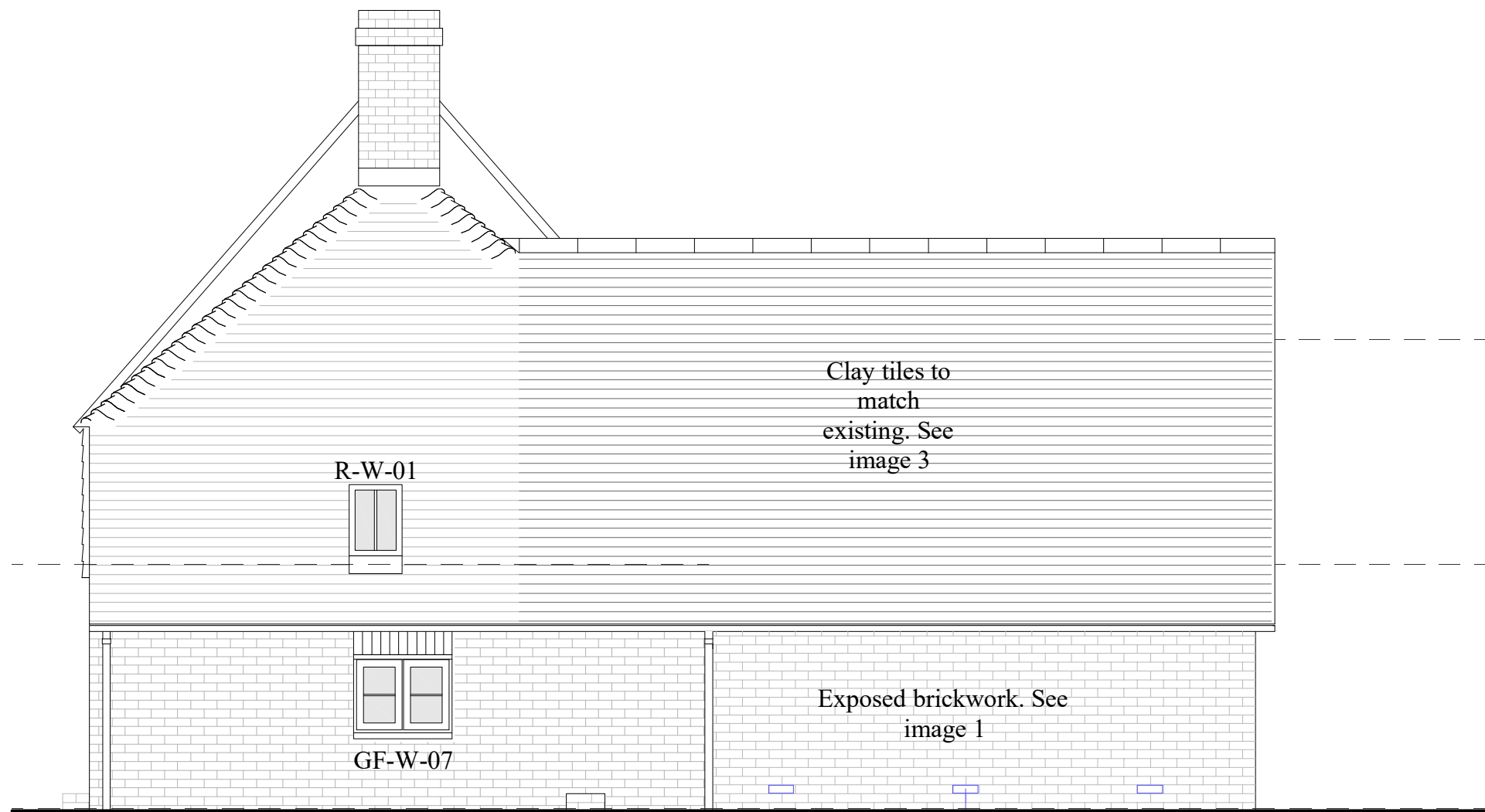


PROPOSED NORTH EAST
ELEVATION

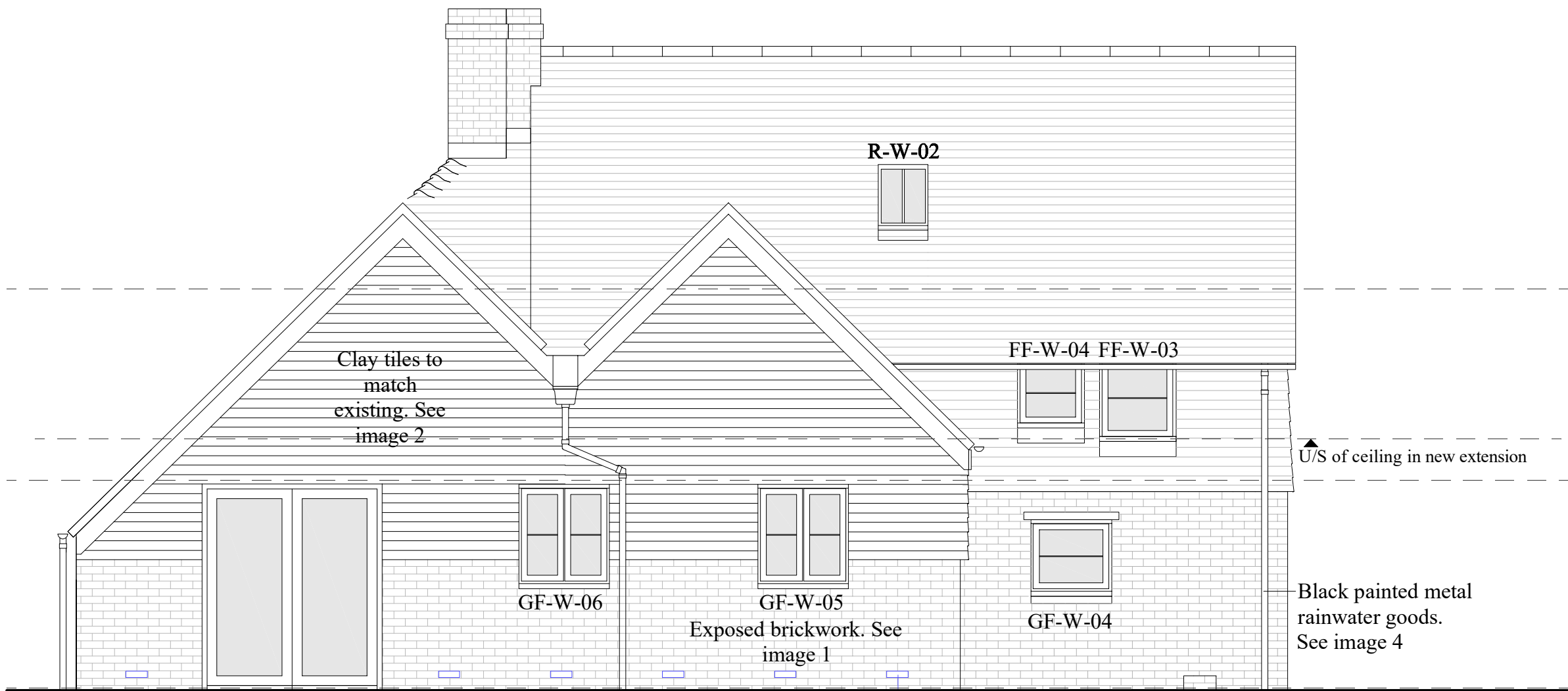
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PROPOSED NORTH WEST
ELEVATION



PROPOSED SOUTH WEST
ELEVATION

DO NOT SCALE FROM DRAWINGS EXCEPT FOR PLANNING PURPOSES.

Check and verify all dimensions on working drawings before commencing work on site. All measurements are to structural elements unless otherwise stated.

Report all discrepancies, errors or omissions between drawings, site conditions and all other documents to Stephen Langer Associates Ltd.

Please read this drawing in conjunction with all other architects', consultants' and subcontractors' drawings.

Materials, components & workmanship are to meet or exceed the requirements of current Building Regulations, British Standards codes of practice, and the appropriate manufacturer's recommendations.

Sanitaryware is indicative only. Drainage is indicative and final design by contractor. Final electric design by contractor and to be installed by NICEIC registered contractor. Plumbing and heating final design by contractor and should only be installed by a registered contractor. Gas connections to be installed by a Gas Safe engineer and any stoves, fires and Agas etc by a HEATAS registered body. All above to be reviewed by Stephen Langer Associates Ltd (not approved) prior to installation.

Listed Buildings may need underpinning and this will require Listed Building Consent.

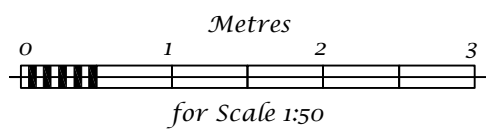
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No work to commence until all planning or listed building conditions have been approved. All work to be carried out in accordance with the approved drawings / planning and listed building consent.

Clients, Designers and Contractors must be aware of their duties under the Construction (Design and Management) Regulations 2015 (came into force on the 6th April 2015).

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Rev.	Description	Date
B	Ventilating eaves and ridge omitted	10/12/2019
A	Revisions as discussed	04/12/2019

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Template version: 2.00 - 05.07.2018

Project :
**The Pest House,
Claygate Road, Yalding,
ME18 6BB**

Drawing Description :
House - Proposed Elevations

Date : November 2019
Scale : 1:50 @ A1

Drawn by :
DAW

Drawing Number :
19045 - WK - 05

Rev.
B